

NewCAL Design Review Committee

Feasibility Update

November 18, 2020



Owner's Project Manager



Bargmann Hendrie+ Archetype, Inc.

Architect

Existing Conditions Assessment and Findings

Existing Conditions Studies Performed to Date

- Hazardous materials survey
- Structural assessment
- Geotechnical assessment
- Land survey
- Traffic and parking assessment

Hazardous Materials

- Presence of lead paint and asbestos detected
- Abatement cost estimate is \$250,000
- Abatement required with both demolition and renovation

Structural

- No existing steel reinforcing in mass masonry walls
- Install seismic through-wall anchors at roof level only
- Replacement of steel masonry lintels that are rusted
- Removal of existing slate roof and gypsum plank roof system due to lack of support from gypsum plank; replace with metal deck, new roof will be required
- Installing a new seismic system at least near center, all to replace portion removed
- Carrying a \$200k allowance for seismic retrofit work (before markups and burdens)
- Carrying an allowance for general structural repairs
- New elevator hoistway depth must be considered relative to existing footings due to undermining or pressure on foundation wall

Mechanical, Electrical, Plumbing and Fire Protection

- Total replacement of all systems will be required, therefore a detailed study of existing equipment is not of value
- Building and energy codes have changed and new requirements make reuse of existing system impractical

Existing Conditions Assessment and Findings

Geotechnical & Foundation Notes

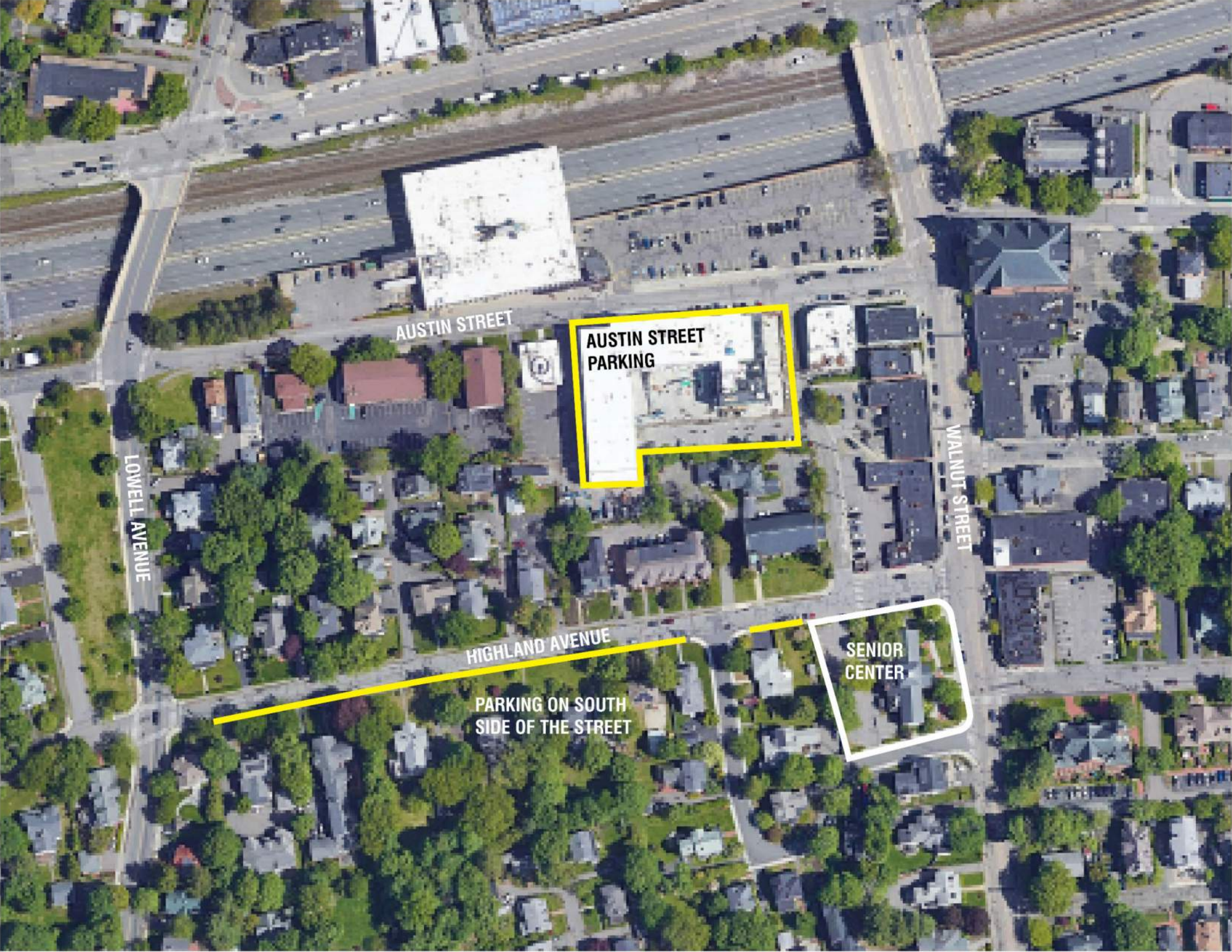
- The site consists of 3 to 8 feet of fill on top of sandy and gravelly soil; excavate and replace this fill with compacted structural fill
- Slope of excavation 1:1 or sheet piling required at edges (shoring)
- Concrete Slabs may be designed as grade supported slabs but cracking may occur
- Recommend removing fill at slabs as well
- Groundwater not encountered or expected
- New footings must bear on structural fill. Some existing fill is likely suitable for reuse
- It is anticipated that conventional footings can be used for new construction

Land Survey

- A dimensional survey of the property has been completed

Traffic and Parking Notes

- Parking for 70 cars is recommended for typical day-to-day activities
- Parking for 97 cars is recommended for peak demand during large events
- Trip generation rates for senior centers relatively low, compared to other land users
- Larger amount of traffic for special events but these have minor impact, due to non-peak hours
- Trips are mostly outside of peak commuter hours
- Single point access/egress and one-way circulation to minimize internal conflict
- Slight distances assessed viewed as adequate for the speeds of Highland Avenue
- Expansion not anticipated to impact safety along roadway network
- Turning sightlines at Walnut Street and Highland Avenue are adequate for a parking entrance/exit on Highland Avenue, while close to the street corner, turning speeds are generally slower



AUSTIN STREET

AUSTIN STREET
PARKING

LOWELL AVENUE

WALNUT STREET

HIGHLAND AVENUE

PARKING ON SOUTH
SIDE OF THE STREET

SENIOR
CENTER

Retain Existing Building + New Addition

Option A (keeping both wings and the central cupola)

Advantages

- Existing building keeps with the scale of the neighborhood fabric along Walnut street
- Existing building brick façade is charming
- Existing building has a large setback with generous greenery/garden along Walnut Street
- Large windows and high ceilings at existing building wings and tower



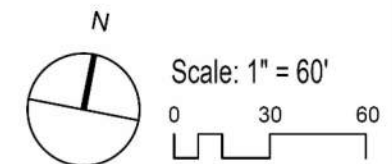
Challenges

- Remaining site is very tight for new construction in order to keep the existing building
- Awkward circulation in the senior center in order to keep existing building spaces accessible
- Potential compromise required to accommodate all desired new senior center program
- Challenging onsite loading and unloading, trash removal, very limited back of house functions
- Very restricted parking on site
- Very tight accommodation of large, multiple function spaces and associated commercial kitchen at the ground floor of new addition
- Existing Building front door can no longer serve as the front entrance to the senior center therefore rendering an awkward relationship to the new addition and new entry
- Constructability challenges with building a new addition tight to existing building
- Potentially cost premiums to integrate the existing building into the new addition and to bring into code compliance

Newtonville Retain Existing Building: **INITIAL LAYOUT**



Site Plan: 33,000 sf building

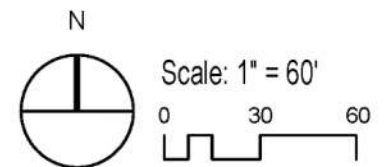




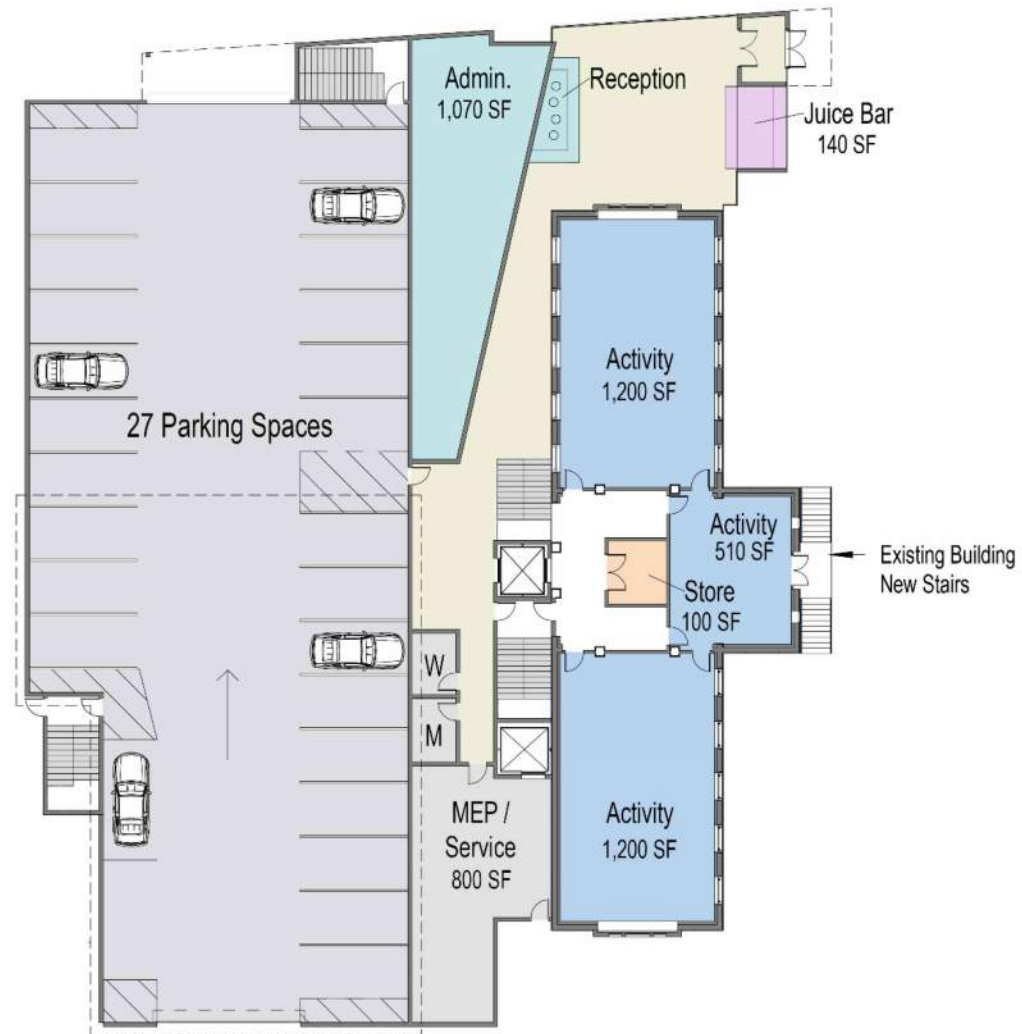
NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)
Site Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

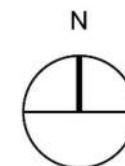
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Newtonville Retain Existing Building: **INITIAL LAYOUT**



First Floor Plan: 8,000 sf
Garage Area: 9,000 sf



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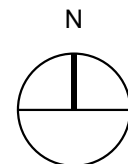


NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

First Floor Plan

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NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

First Floor Plan Entry From Walnut Place

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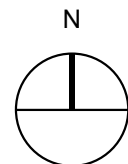


NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

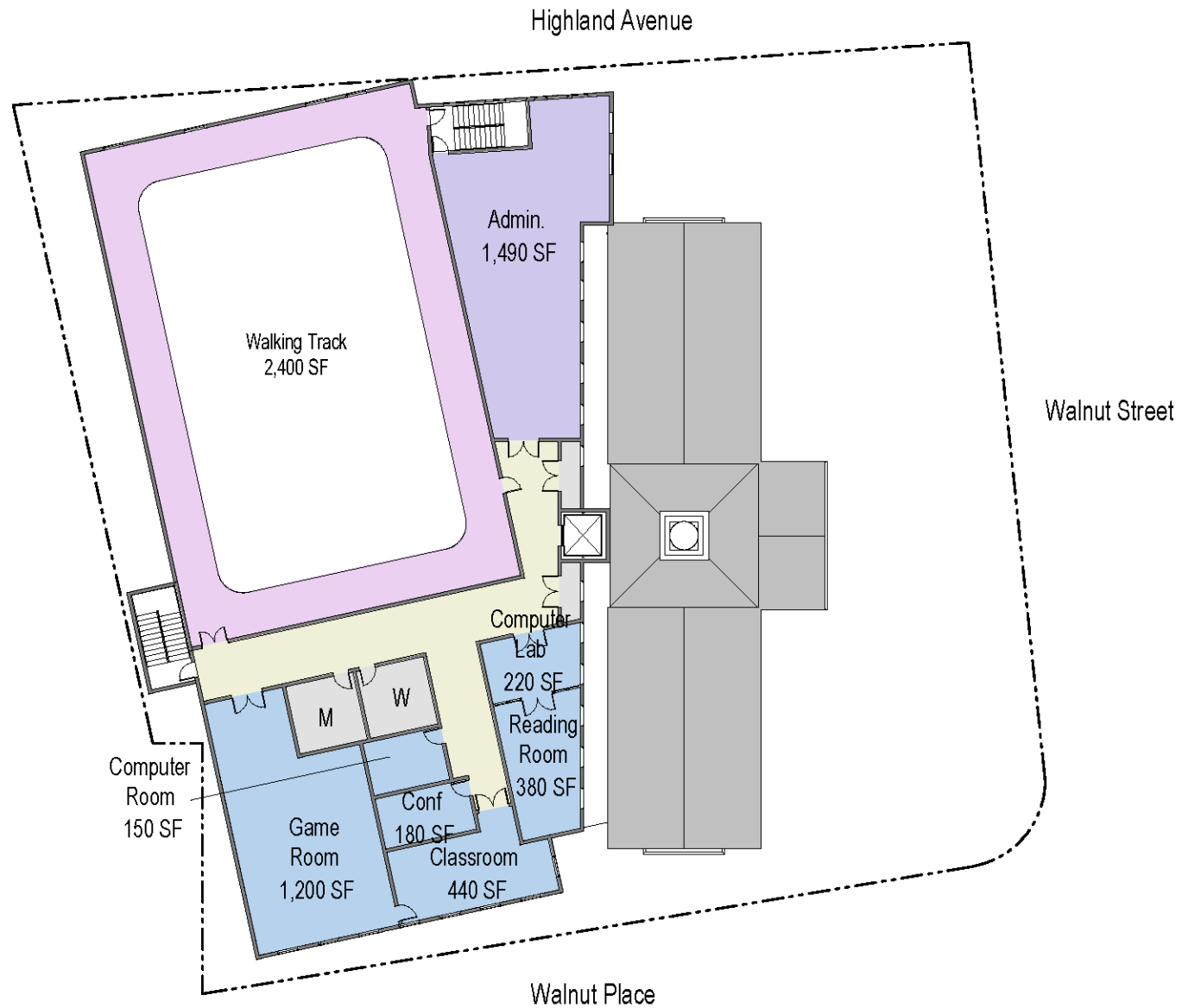
Second Floor Plan

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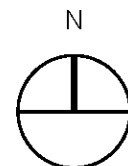


NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

Third Floor Plan

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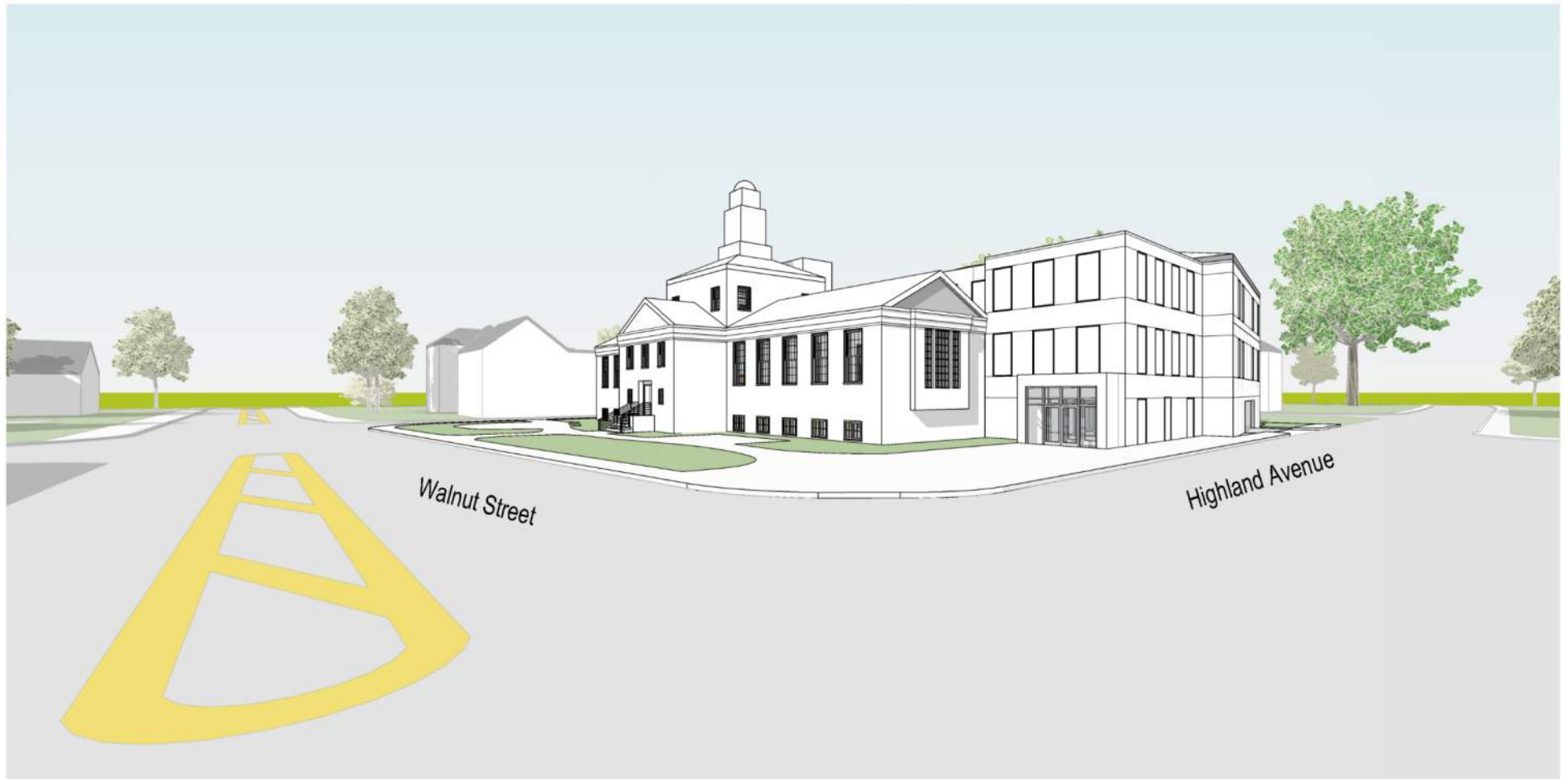


NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

Aerial View from Northeast

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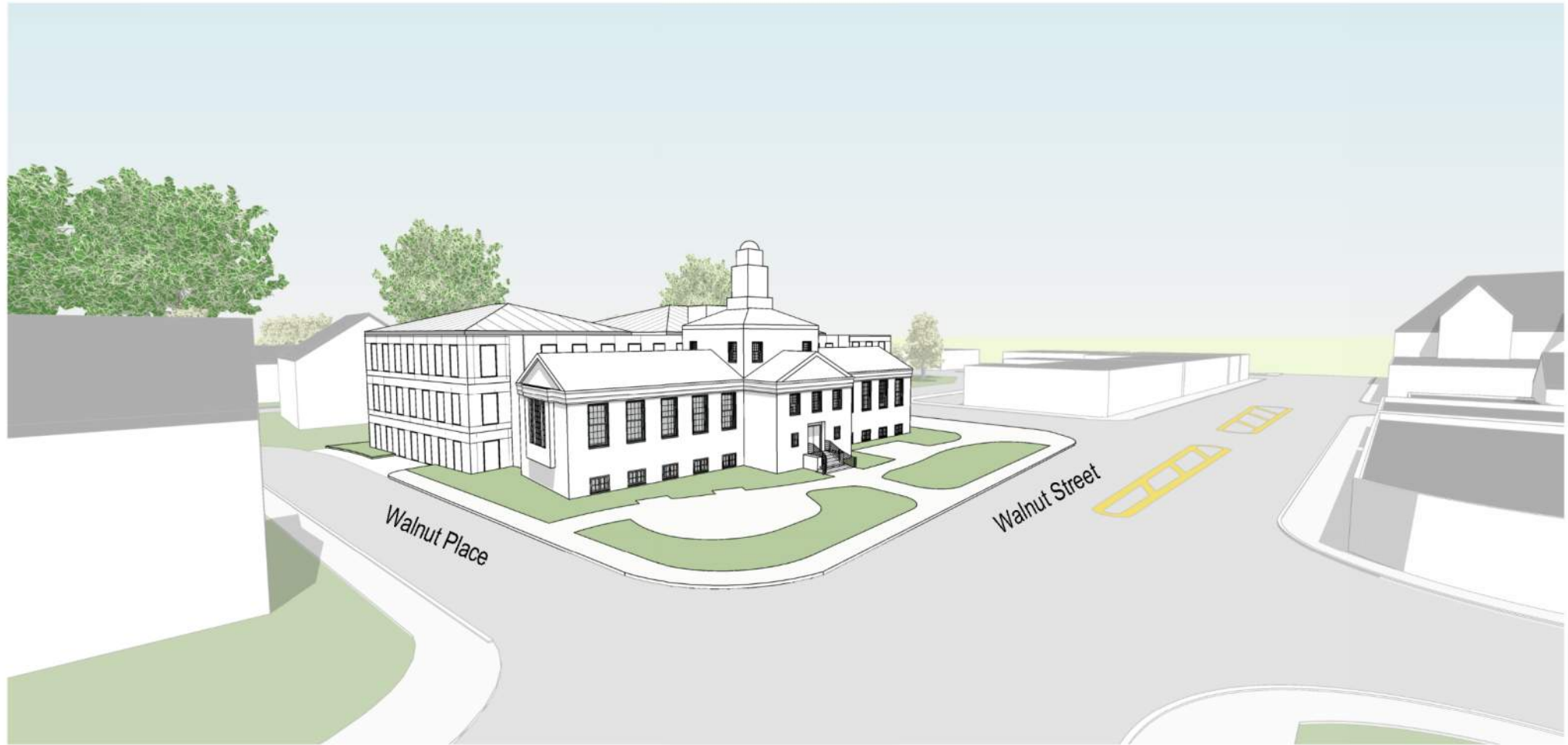


NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

Street View from Northeast

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NewCAL Newtonville Option A - Existing Building + New Addition (3 Story)

Street View from Southeast

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The following Options are created for presentation to the Newton Historical Commission to demonstrate “Alternatives Considered”

Retain Existing Building + New Addition

Option B (keeping south wing and the central cupola)

Advantages

- The new north wing can better accommodate first floor senior center large functional spaces and commercial kitchen; better relationship with front entrance
- The new north wing spaces can ease the senior center building program at upper floors
- The upper program spaces are better proportioned and more flexible for use

Challenges

- The loss of north wing makes the existing masonry building asymmetrical and awkward visually from Walnut Street
- Awkward circulation in the senior center in order to keep existing building spaces accessible
- Potential compromise required to accommodate all desired new senior center program
- Very restricted parking on site
- Existing building front door can no longer serve as the front entrance to the senior center therefore rendering an awkward relationship to the new addition and new entry

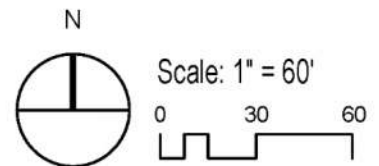




NewCAL Newtonville Option B - Existing Building + New Wing North (3 Story)
Site Plan

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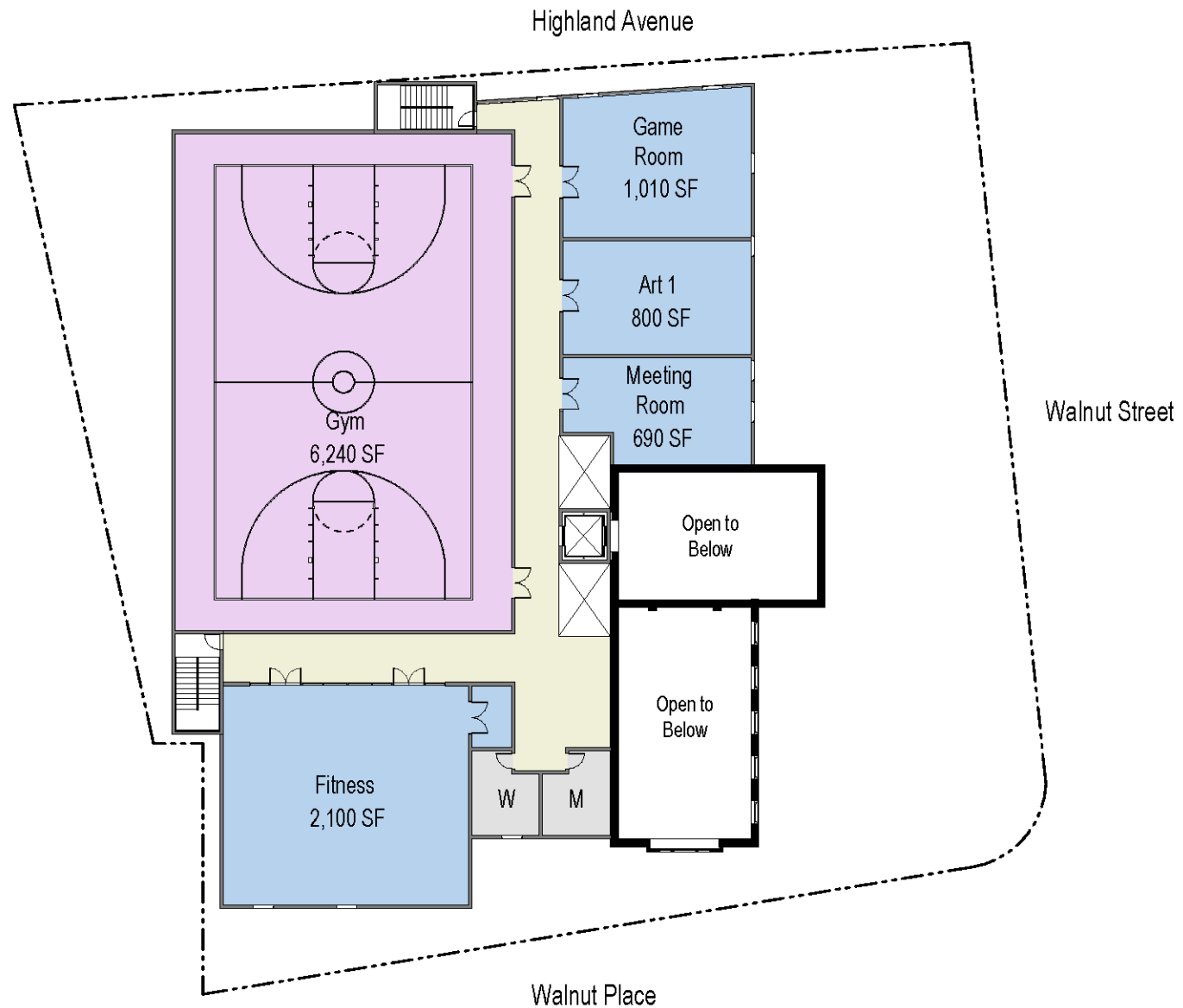


NewCAL Newtonville Option B - Existing Building + New Wing North (3 Story)

First Floor Plan

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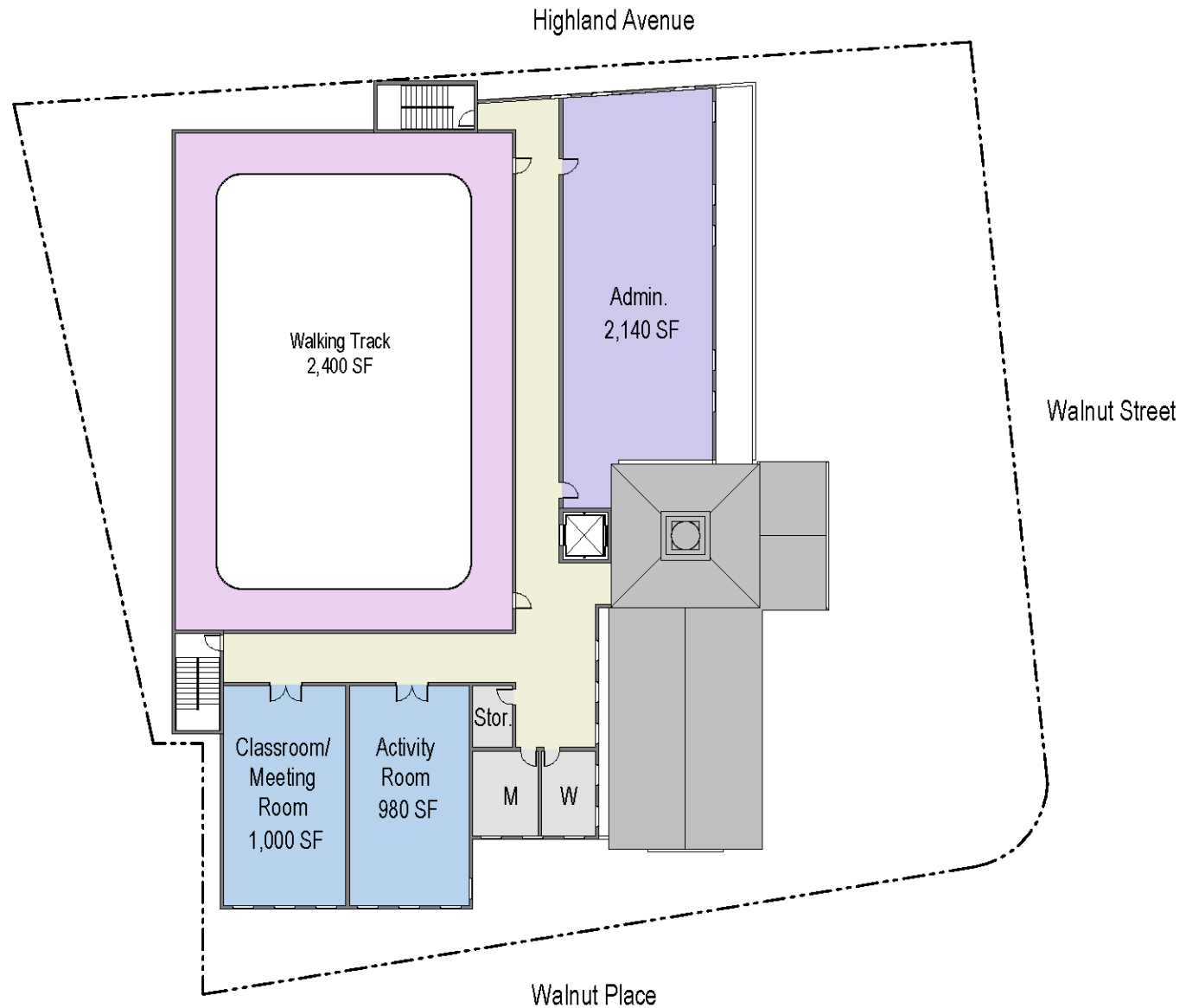


NewCAL Newtonville Option B - Existing Building + New Wing North (3 Story)

Second Floor Plan

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Third Floor Plan

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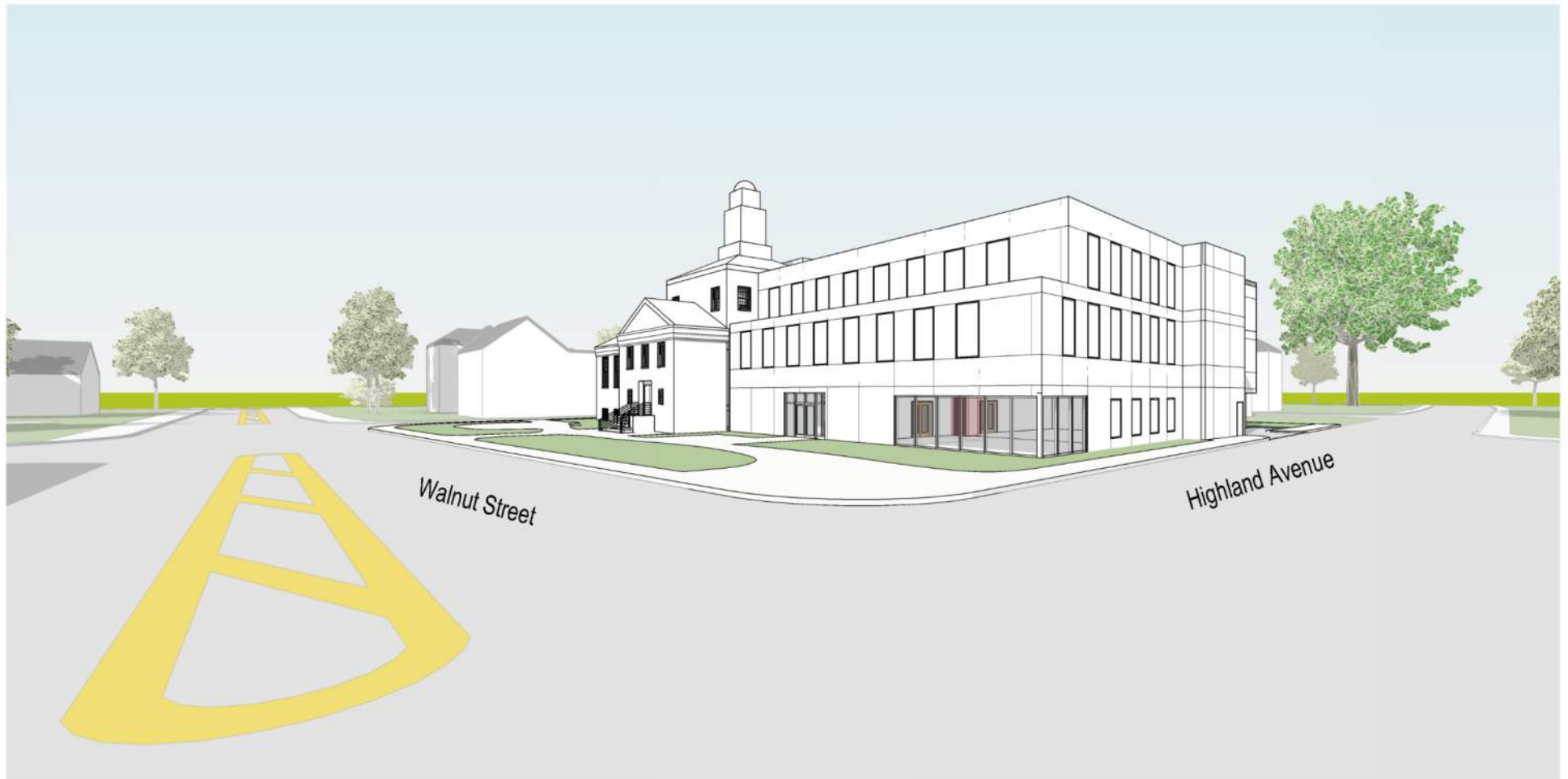


NewCAL Newtonville Option B - Existing Building + New Wing North (3 Story)

Aerial View from Northeast

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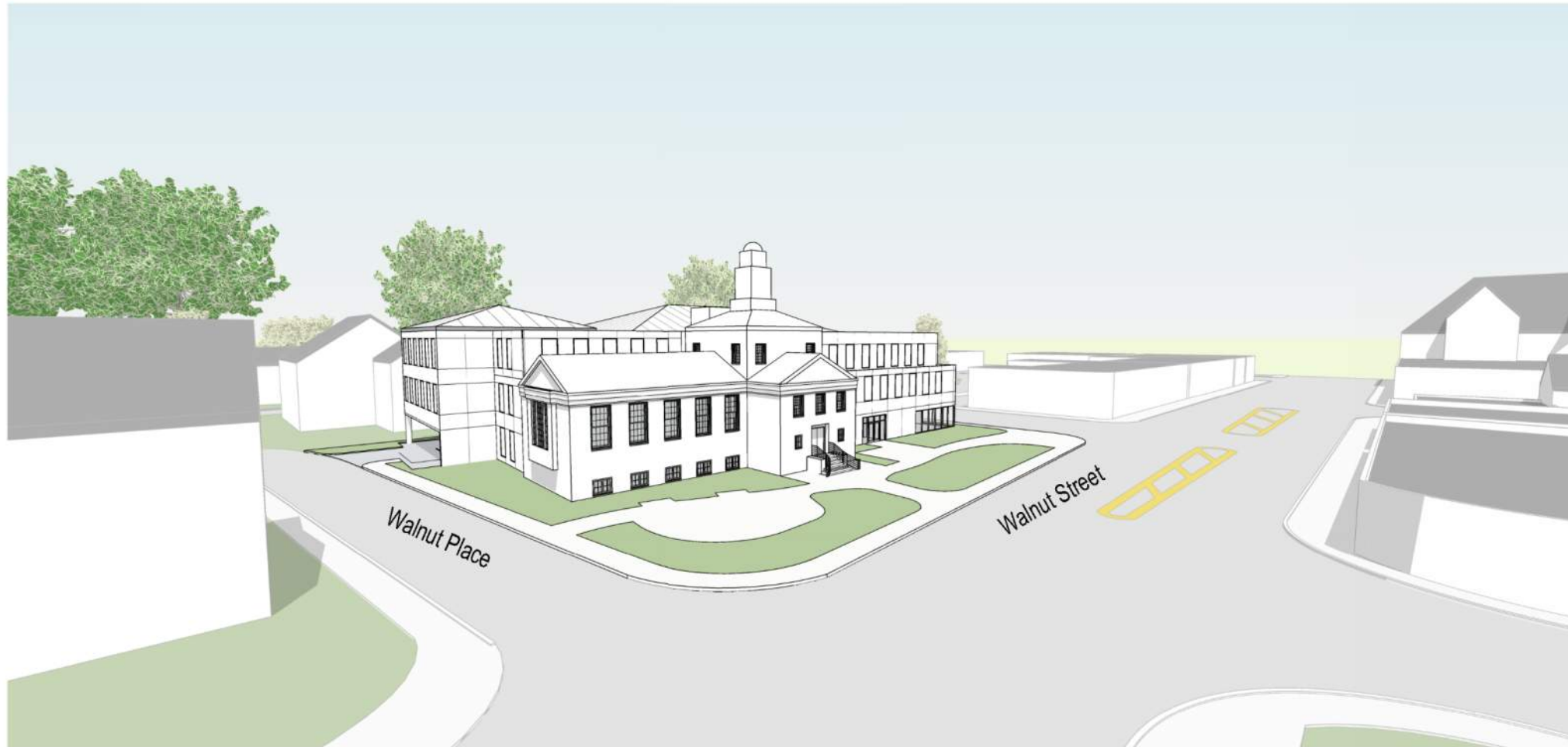


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Street View from Northeast

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Street View from Southeast

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**“Alternatives Considered” Number Two
Retain North Wing and Central Atrium**

Retain Existing Building + New Addition

Option C (keeping north wing and the central cupola)

Advantages

- Keeping the north wing of existing building and cupola presents the same historic façade at the more prominent corner of the site at Walnut Street and Highland Avenue
- The new south wing can better accommodate first floor senior center large functional spaces and commercial kitchen; better relationship with front entrance
- The new south wing spaces can ease the senior center building programs at upper floors
- The upper space programs are better proportioned and more flexible for use

Challenges

- The lost of south wing make the existing masonry building asymmetrical and awkward visually from Walnut street
- Awkward circulation in the senior center in order to keep existing building spaces accessible
- Potential compromise required to accommodate all desired new senior center programs
- Very restricted parking on site
- Existing building front door can no longer serve as the front entrance to the senior center therefore rendering an awkward relationship to the new addition and new entry

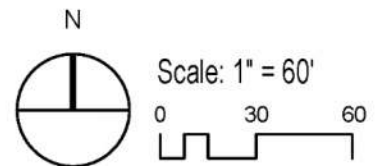




NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)
Site Plan

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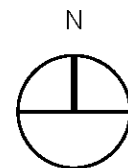


NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)

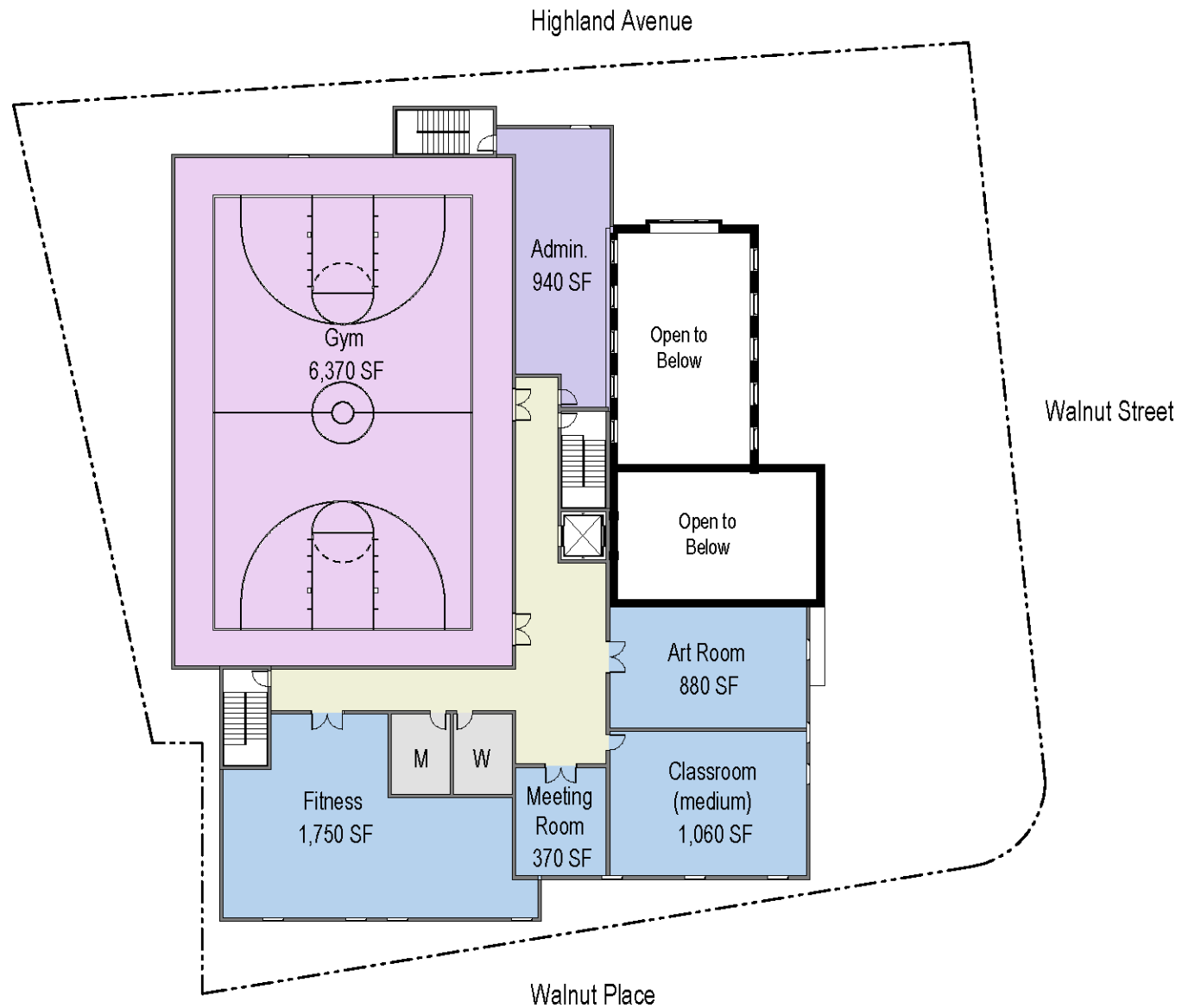
First Floor Plan

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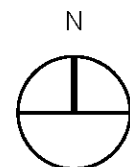


NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)

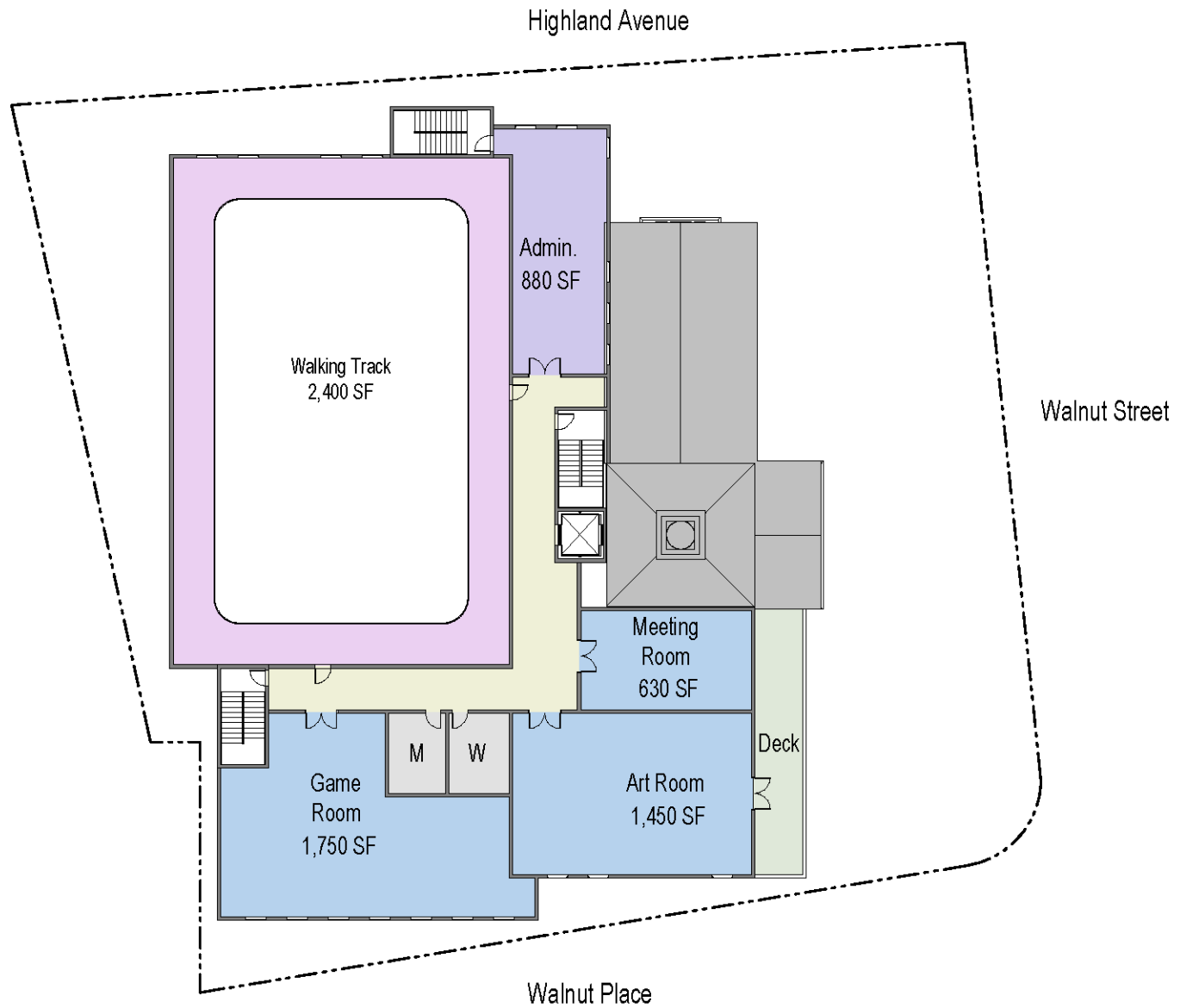
Second Floor Plan

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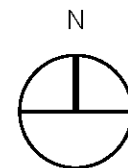


NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)

Third Floor Plan

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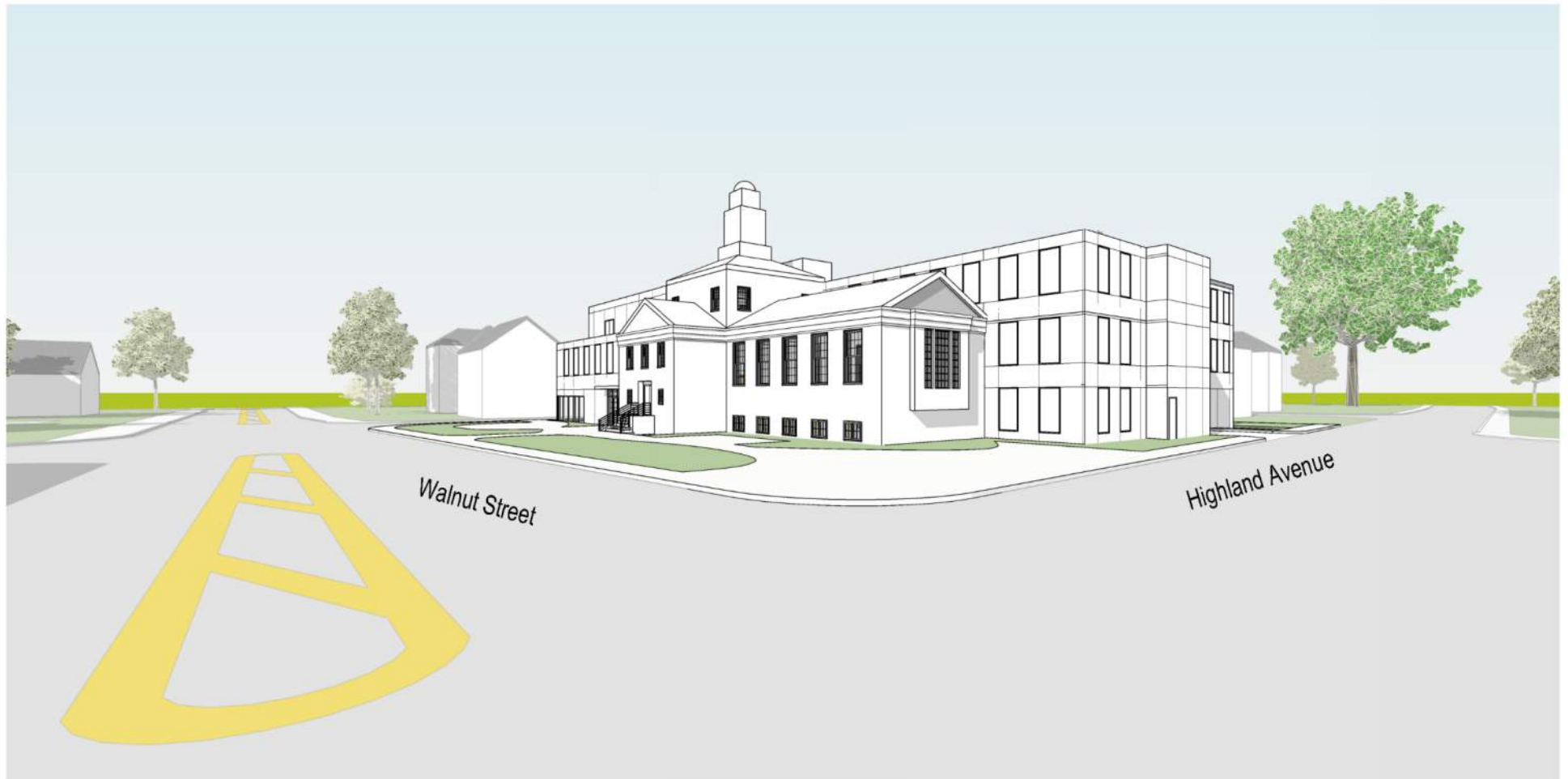


NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)

Aerial View from Northeast

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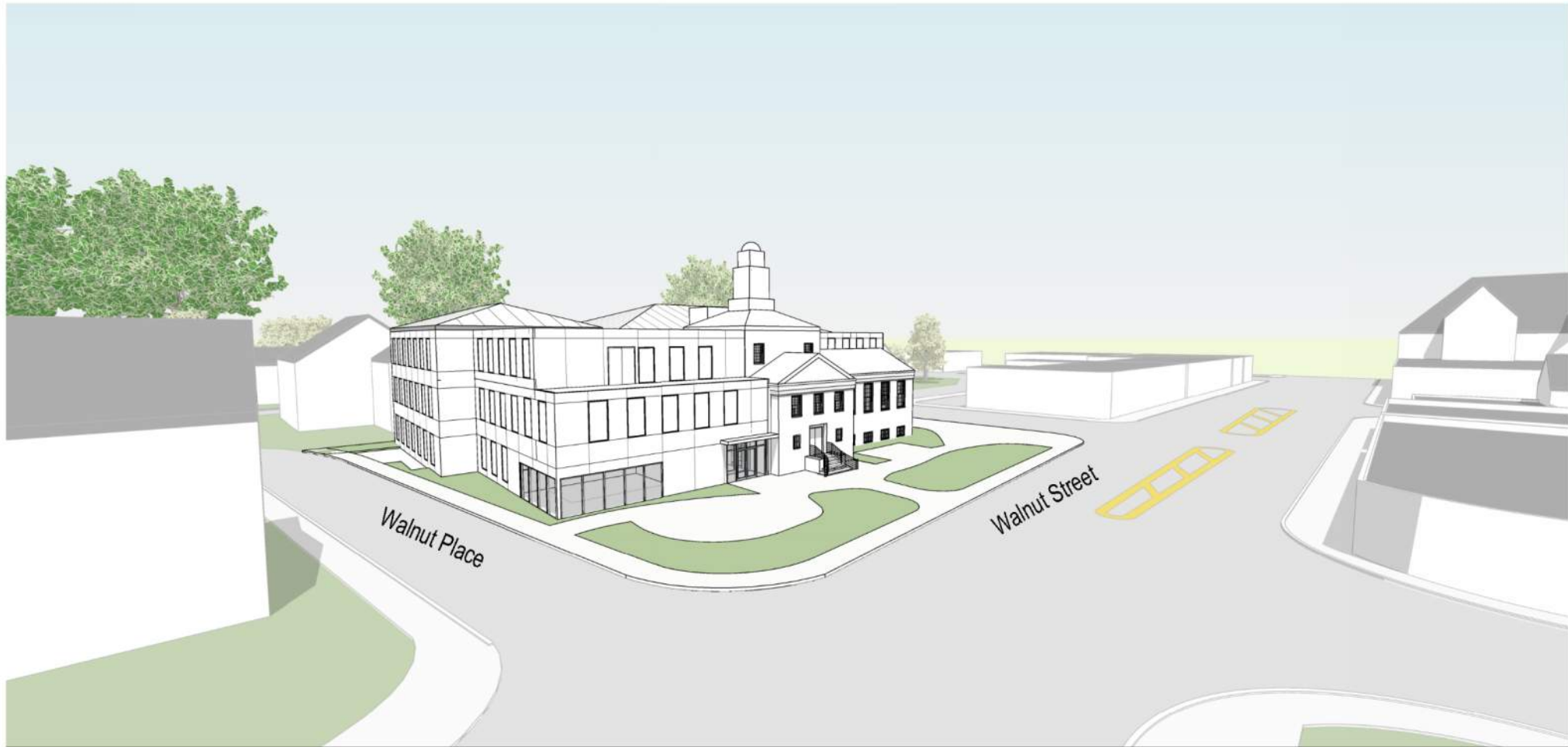
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NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)
Street View from Northeast

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NewCAL Newtonville Option C - Existing Building + New Wing South (3 Story)
Street View from Southeast

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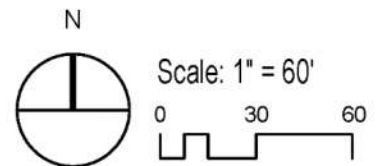
“Alternative Considered” Number Three
Retain only the Center Atrium Section



NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)
Site Plan

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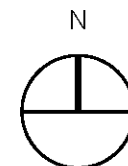


NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)

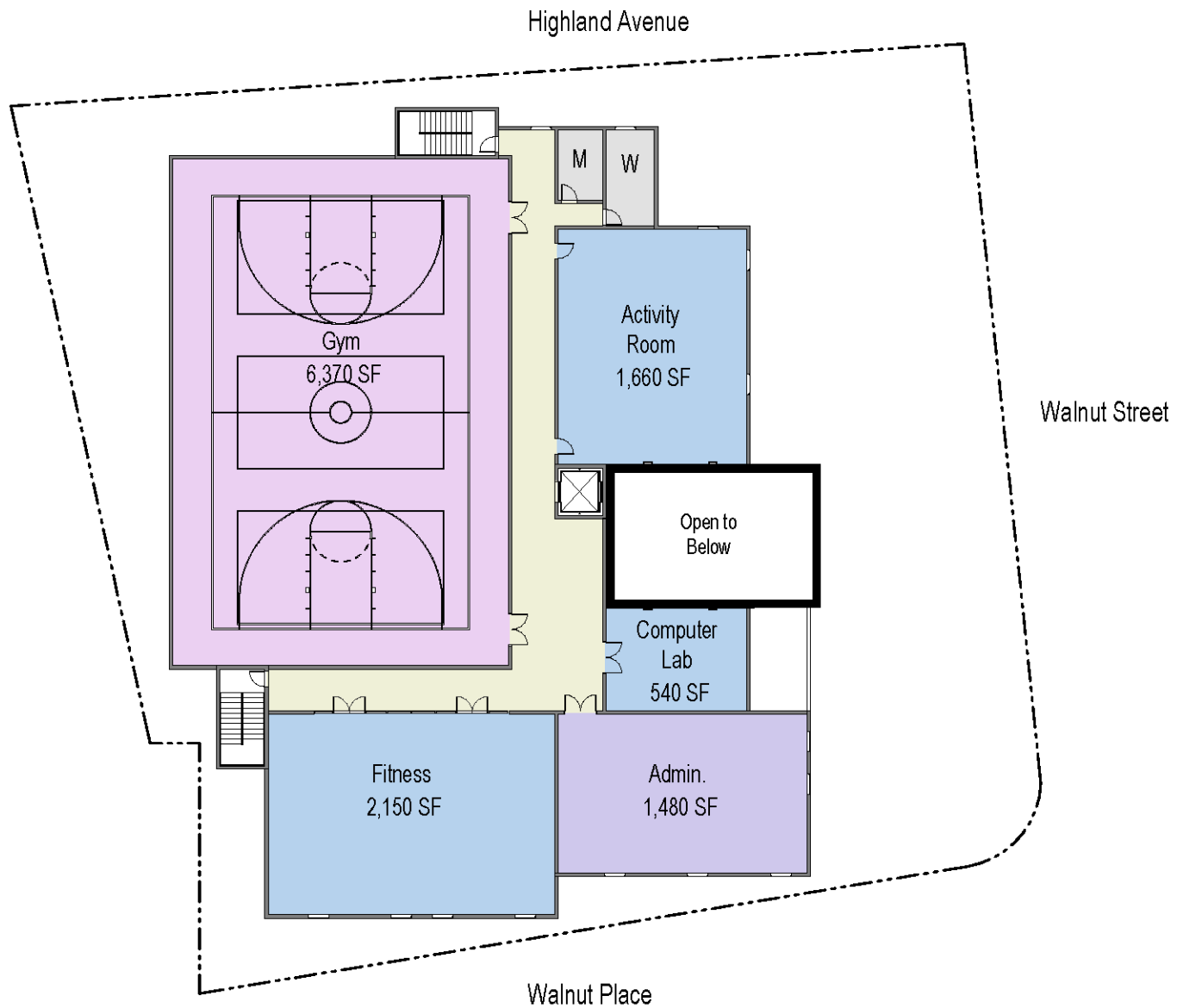
First Floor Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

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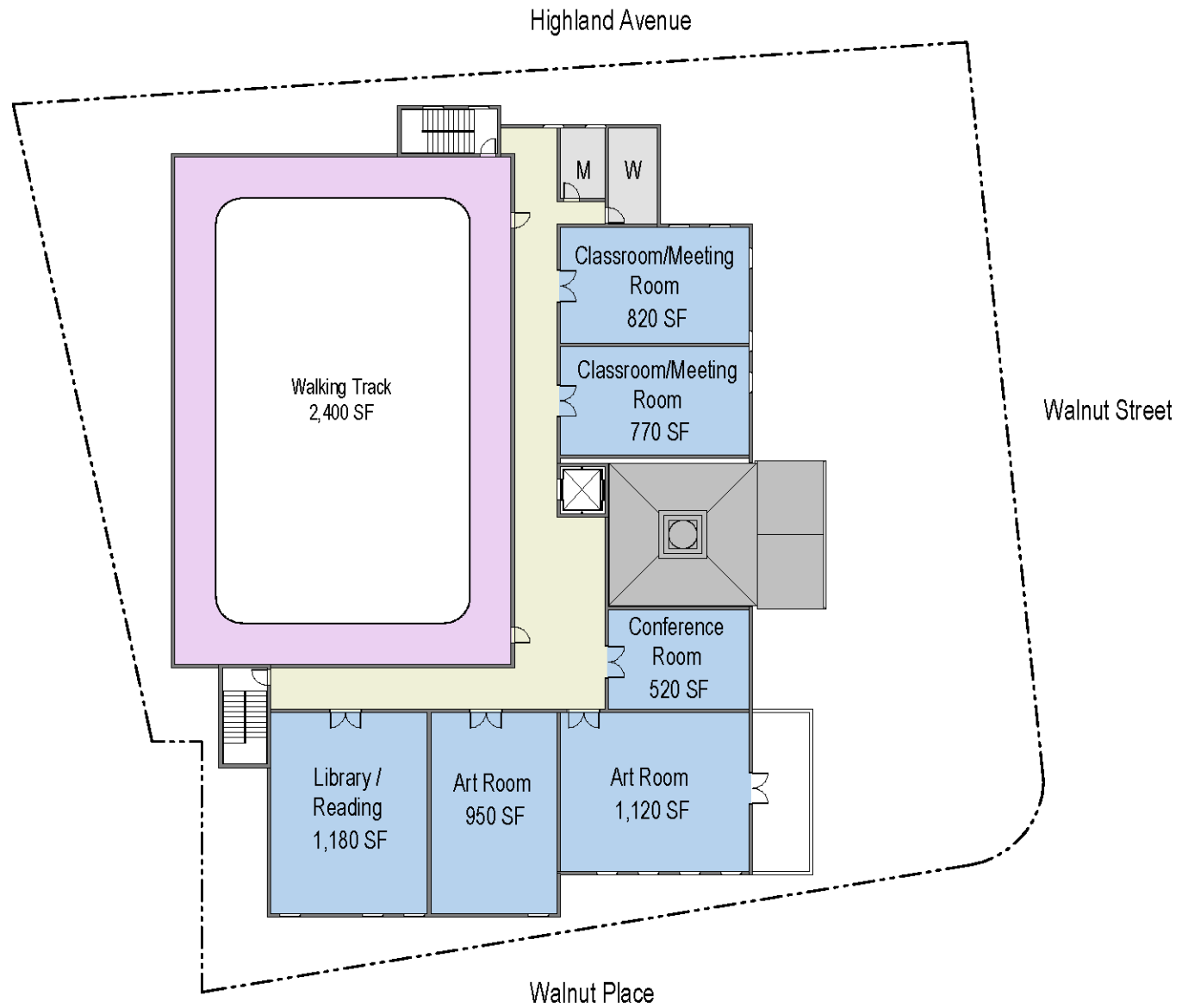


NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)

Second Floor Plan

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NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)

Third Floor Plan

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NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)

Aerial View from Northeast

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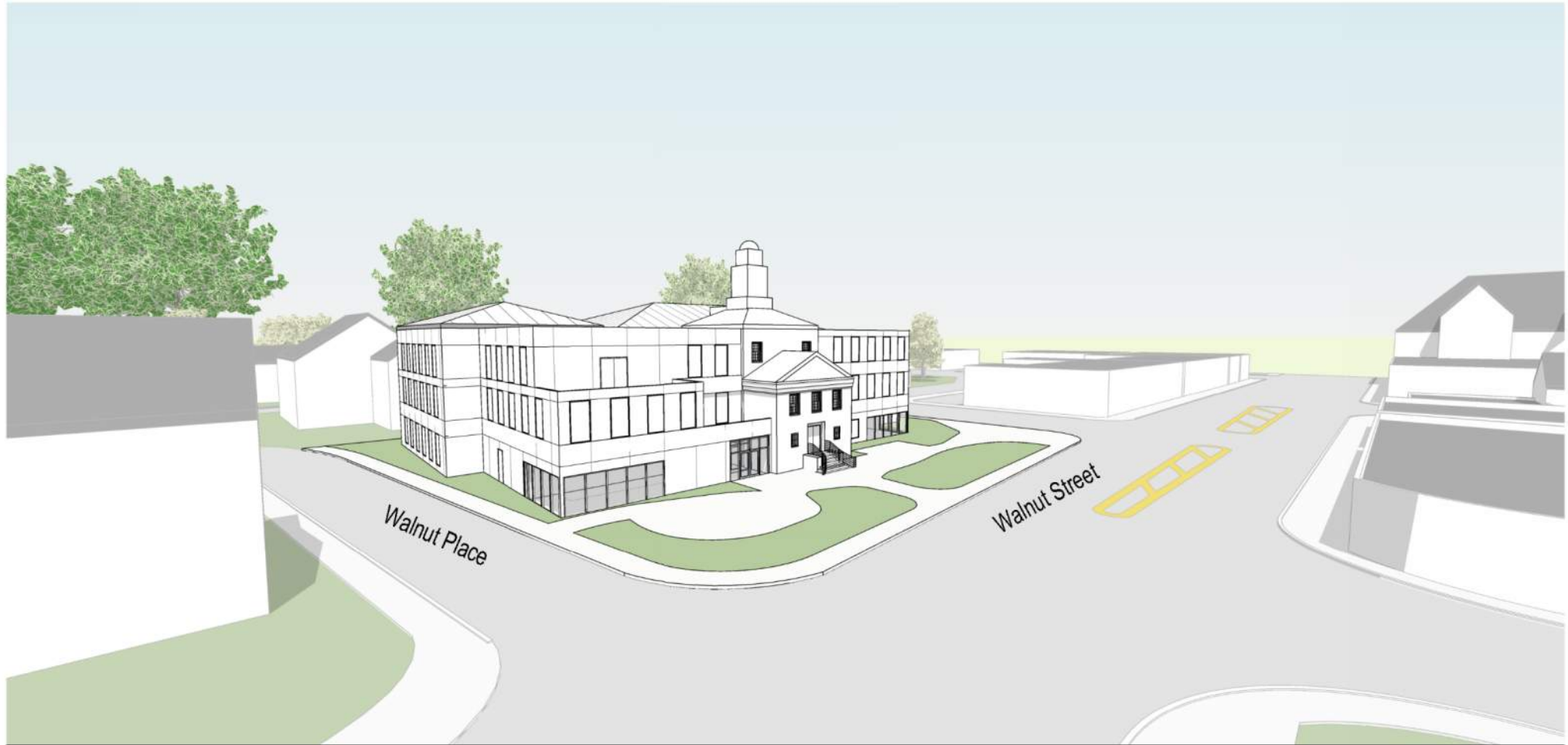


NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)

Street View from Northeast

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NewCAL Newtonville Option D - Existing Center Tower + New Addition (3 Story)

Street View from Southeast

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The following is the New Building Alternative

New Building

Option C (New 4 story Bar Building)

Advantages

- Accommodates all proposed senior center programming with room for future expansion, if needed
- Can have more on-site parking and drop-off
- More flexibility in building siting, landscape, traffic, loading/unloading and parking

Challenges

- Removal of a long familiar building in the community
- Fitting a large 4-story height, 25,000+sf building into a 2/3-story residential neighborhood



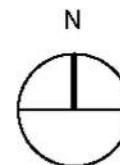


NewCAL Newtonville Option E - New Building (4 Story)

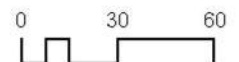
Site Plan

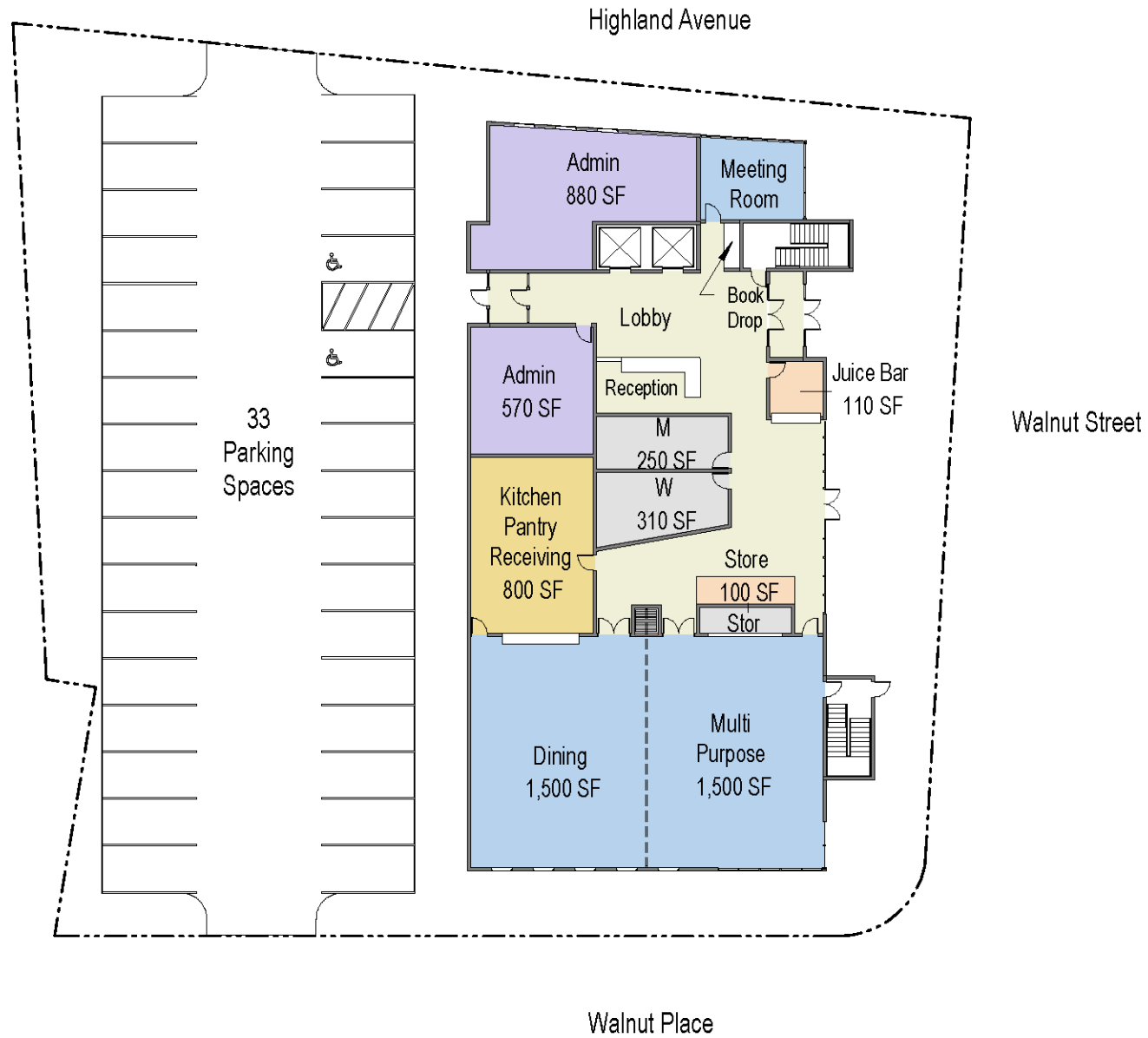
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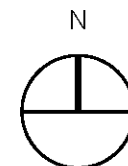


NewCAL Newtonville Option E - New Building (4 Story)

First Floor Plan

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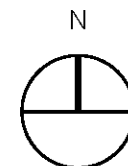
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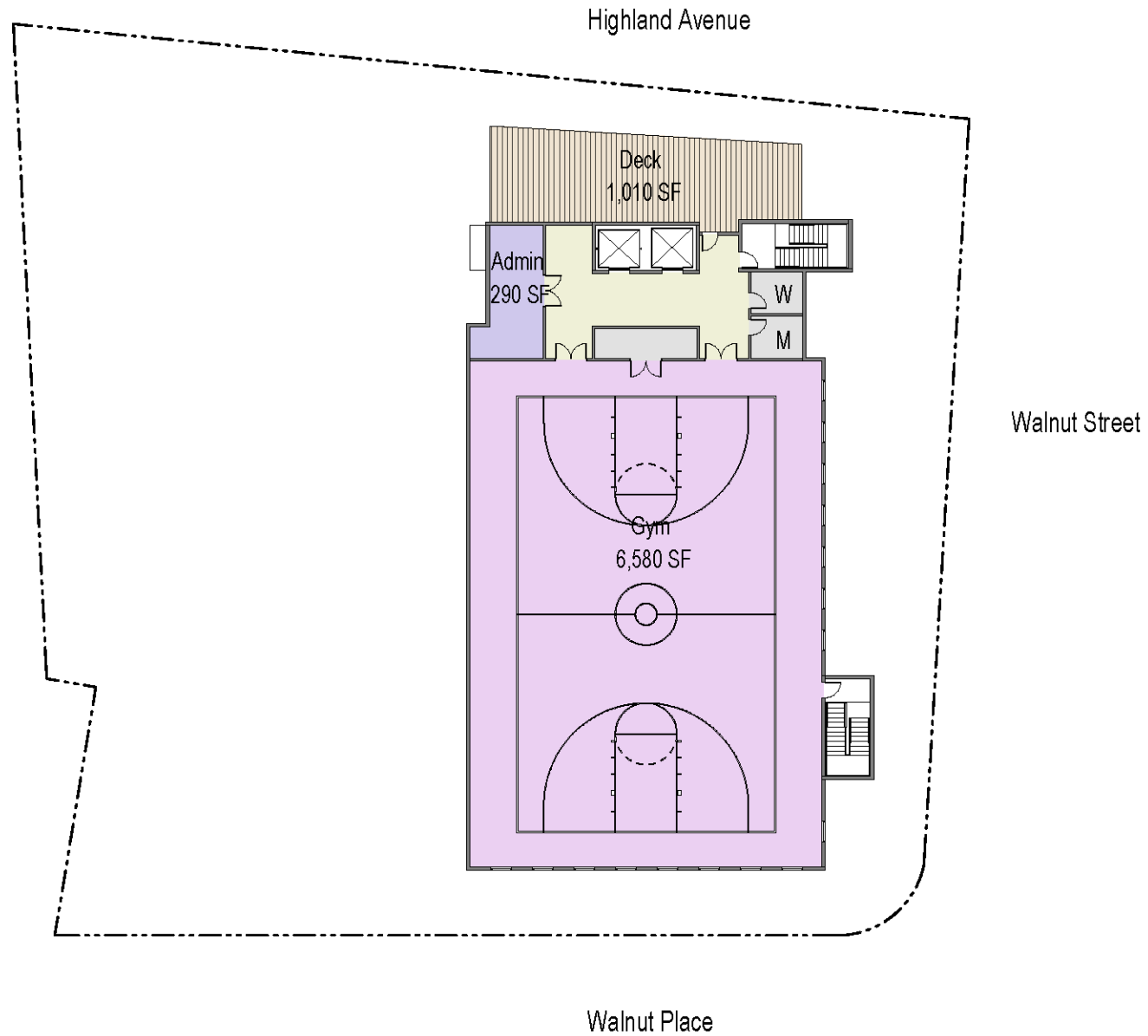
NewCAL Newtonville Option E - New Building (4 Story)
Second Floor Plan

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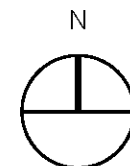


NewCAL Newtonville Option E - New Building (4 Story)

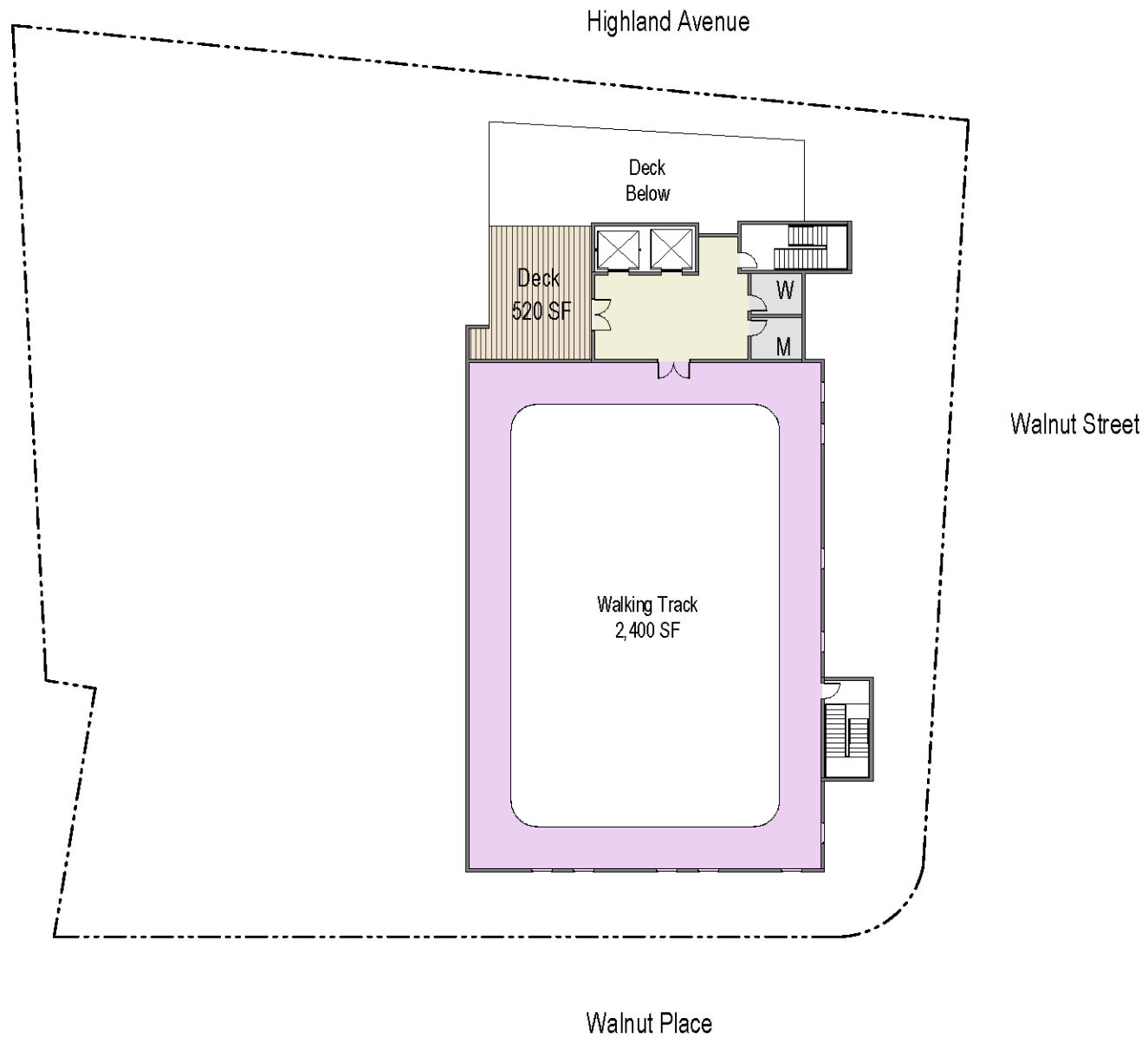
Third Floor Plan

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NewCAL Newtonville Option E - New Building (4 Story)

Fourth Floor Plan

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NewCAL Newtonville Option E - New Building (4 Story)

Aerial View from Northeast

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NewCAL Newtonville Option E - New Building (4 Story)

Street View from Northeast

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NewCAL Newtonville Option E - New Building (4 Story)

Street View from Southeast

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While the previous option was considered the cost effective New Building Alternative, the following was suggested as a means of better being able to develop a more interesting building massing

New Building

Option E1 (New 4 story L-Shaped Building)

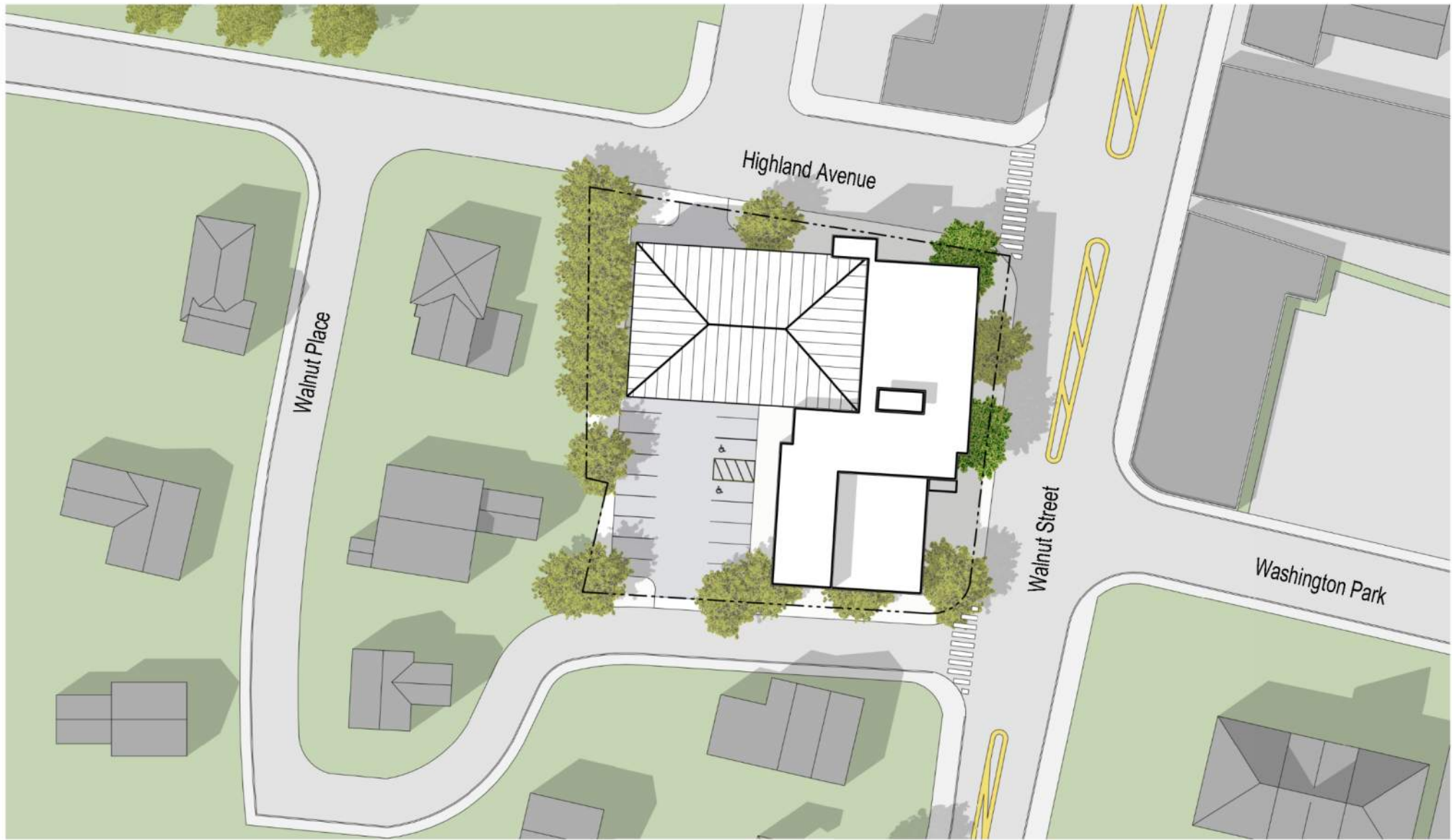
Advantages

- Span the gym horizontally over the parking reduces building mass along Highland Ave.
- Accommodates all proposed senior center programming with room for future expansion, if needed
- Can have more on-site parking and drop-off
- More flexibility in building siting, solar orientation, landscape, traffic, loading/unloading and parking
- Can add a Roof deck or additional programming to the building



Challenges

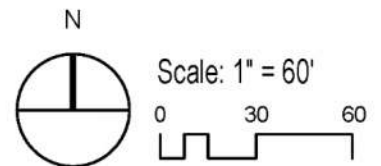
- Removal of a long familiar building in the community
- Fitting a 4-story height, 25,000+ sf building into a 2/3 story residential neighborhood



NewCAL Newtonville Option E1 - New Building - L Shape (4 Story)
Site Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

P:\3399 Newton Community Center\dwg\Revit\3399 Newton Community Center_345 Walnut St.rvt



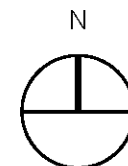


NewCAL Newtonville Option E1 - New Building - L Shape (4 Story)

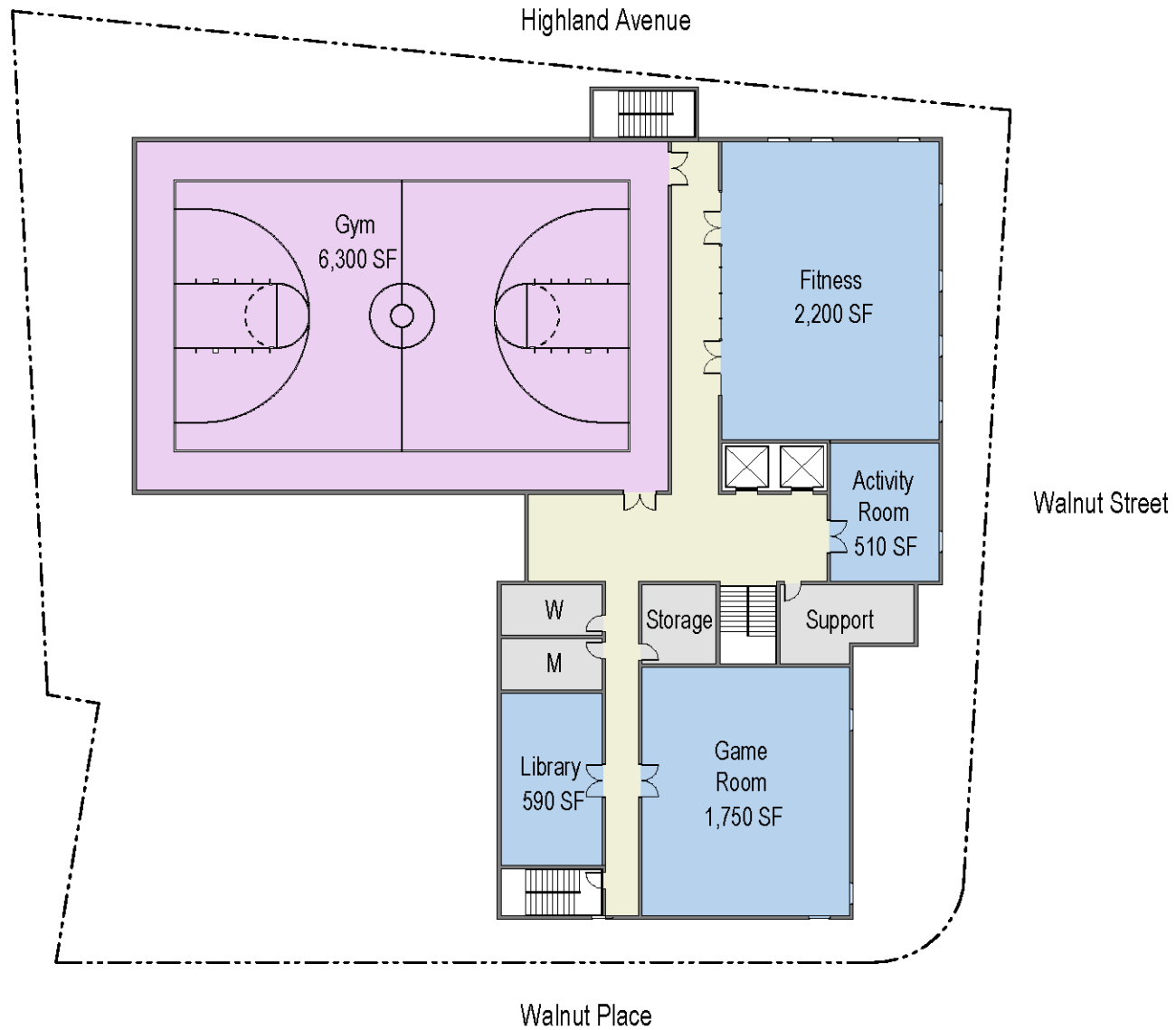
First Floor Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

P:\3399 Newton Community Center\dwg\Revit\3399 Newton Community Center_345 Walnut St.rvt



Scale: 1/32" = 1'-0"

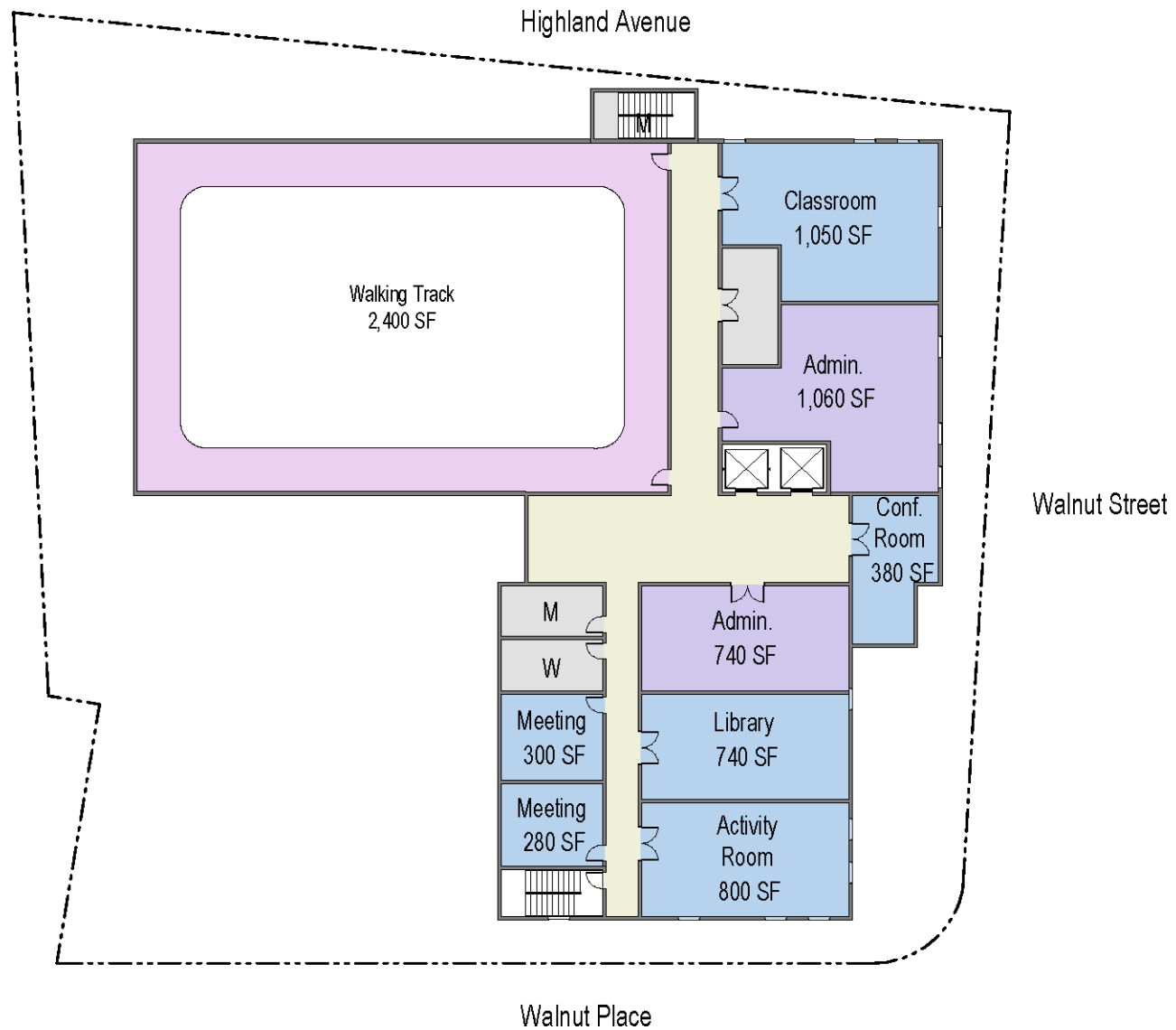


New CAL Newtonville Option E1 - New Building - L Shape (4 Story)

Second Floor Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

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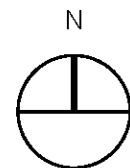


NewCAL Newtonville Option E1 - New Building - L Shape (4 Story)

Third Floor Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

P:\3399 Newton Community Center\dwg\Revit\3399 Newton Community Center_345 Walnut St.rvt



Scale: 1/32" = 1'-0"



NewCAL Newtonville - Option E1A - New Building L Shape (4 Story)
Fourth Floor Plan

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

P:\3399 Newton Community Center\dwg\Revit\3399 Newton Community Center_345 Walnut St.rvt



NewCAL Newtonville Option E1 - New Building - L Shape (4 Story)

Aerial View from Northeast

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

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NewCAL Newtonville Option E1 - New Building - L Shape (4 Story)

Street View from Northeast

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

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NewCAL Newtonville Option E1 - New Building - L Shape (4 Story)

Street View from Southeast

Bargmann Hendrie + Archetype 9 Channel Center Street Boston, MA 02210 Tel: (617) 350-0450 11/13/2020

P:\3399 Newton Community Center\dwg\Revit\3399 Newton Community Center_345 Walnut St.rvt

**A comparative analysis of program compliance and spatial efficiency
is being undertaken for each option**

Program Comparison

	Program		Option A Add On to Existing		Option E New Building (4 Story)	
	Net SF	Sums	Net SF	Sums	Net SF	Sums
NewCAL Program Proposed Rooms/Spaces						
Multi-Purpose Activity Spaces						
Fitness/Exercise						
Exercise Equipment Room	1,500		1,500		1,520	
Yoga, Dance, Movement					600	
Multi-Purpose Suite						
Activity Room with coat alcove (shared moveable wall with Dining)	1,500		1,700		1,500	
Dining with coat alcove (shared moveable wall with Activity Room)	1,500		1,500		1,500	
Chair Table Storage	150		110			
Activity Room	400		500	5,310	460	
Games Room						
Ping Pong Room with coat alcove	600		1,200		1,170	
Billiards & Game Room	600					
Art Rooms						
Art Room 1 with coat alcove (shared moveable wall with Art Room 2)	300		350		440	
Art Room 2 with coat alcove (shared moveable wall with Art Room 1)	400		410		620	
Art Storage Room	60		60		60	
Classroom						
Library/Reading Room(s)	400		660		400	
Computer Lab Room / Meeting Use with coat alcove	160		270		170	
Classroom/Meeting Room med	450		650		300	
Classroom/Meeting Room small	150		260		370	
Conference Room / Meeting Room(s)	180		180		290	
General MP Storage	60		110		90	
Subtotal		8,410 NSF		9,460 NSF		9,490 NSF
Common Space						
Lobby /Lounge /Art & Cultural Displays	600		2,500		2,170	
Juice Bar/Café	200		200		110	
Vending	60		60		60	
Library Pick Up/Drop Off Area (sim size to conf table)	50		50		50	
Store	100		100		100	
Subtotal		1,010 NSF		2,910 NSF		2,490 NSF
Kitchen						
Kitchen (commercial / teaching)	500		500		500	
Pantry	200		200		200	

TOTAL NET SQUARE FOOTAGE			23,490 NSF	<div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></d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Department of Senior Services Asst Program Coordinator							
Outreach & Engagement Coordinator							
Social Work							
Support Services: Shine, AARP Tax, Parking Stick, Art Community, etc.)							
Vol Coordinator + Visiting Staff							
Family Conference Room							
Health Room							
Durable Medical Equipment (DME)							
Copy Work Room							
Coat Closet							
Staff Lounge							
Subtotal		2,100 NSF		3,290 NSF		2,450 NSF	
Support							
Toilet Rms - Accessible (2 per floor)	100			175		160	
Women's Room (2 stalls each floor)	240			150		250	
Men's Room (2 stalls + Urinal first floor)	240			150		250	
Family Toilet with Shower	90			90		90	
Staff Restroom	90			90		90	
Women's Shower/Dressing Room adj (near gym)	110						
Men's Shower Room adj (near gym)	110						
Mech/Elec/Tel-Data/Sprinkler	800			230		230	
Custodial Space	100			100		100	
General Storage	500						
Subtotal		2,380 NSF		985 NSF		1,170 NSF	
Gymnasium							
Gym (may be used for more than one activity at a time)	6,300			6,330		6,580	
Gym Walking Track (second Floor)	1,800					2,400	
Gym Storage	300			200		120	
Subtotal		8,400 NSF		8,930 NSF		9,100 NSF	
TOTAL NET SQUARE FOOTAGE		23,490 NSF		26,375 NSF		25,500 NSF	
Grossing Factor		35%	8,147	35%	9,287	27%	6,868
TOTAL BUILDING GROSS SQUARE FOOTAGE		31,637 BGSF		35,662 BGSF		32,368 BGSF	